704 Fourth Street PO Box 789 Mills, Wyoming



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WYO Classical Academy

Site Plan/Development Plan

Internal Staff Review April 27, 2023 October 14, 2023 Planning Commission November 2, 2023

Applicants: Ethos Three Architecture **Case Number:** 23.01 SKC

Agent: Kip Barton

Summary: The applicants propose to construct a new K-12 school on Lot 1, Mountain Meadows No. 2. It is a phased development, with Phase I consisting of a two-story classroom building for grades K-6.

Legal Description: Lot 1, Mountain Meadows No. 2

Location: The property is located at the intersection of Poison Spider Lane and Robertson Rd.

Zoning: UA (Urban Agriculture)

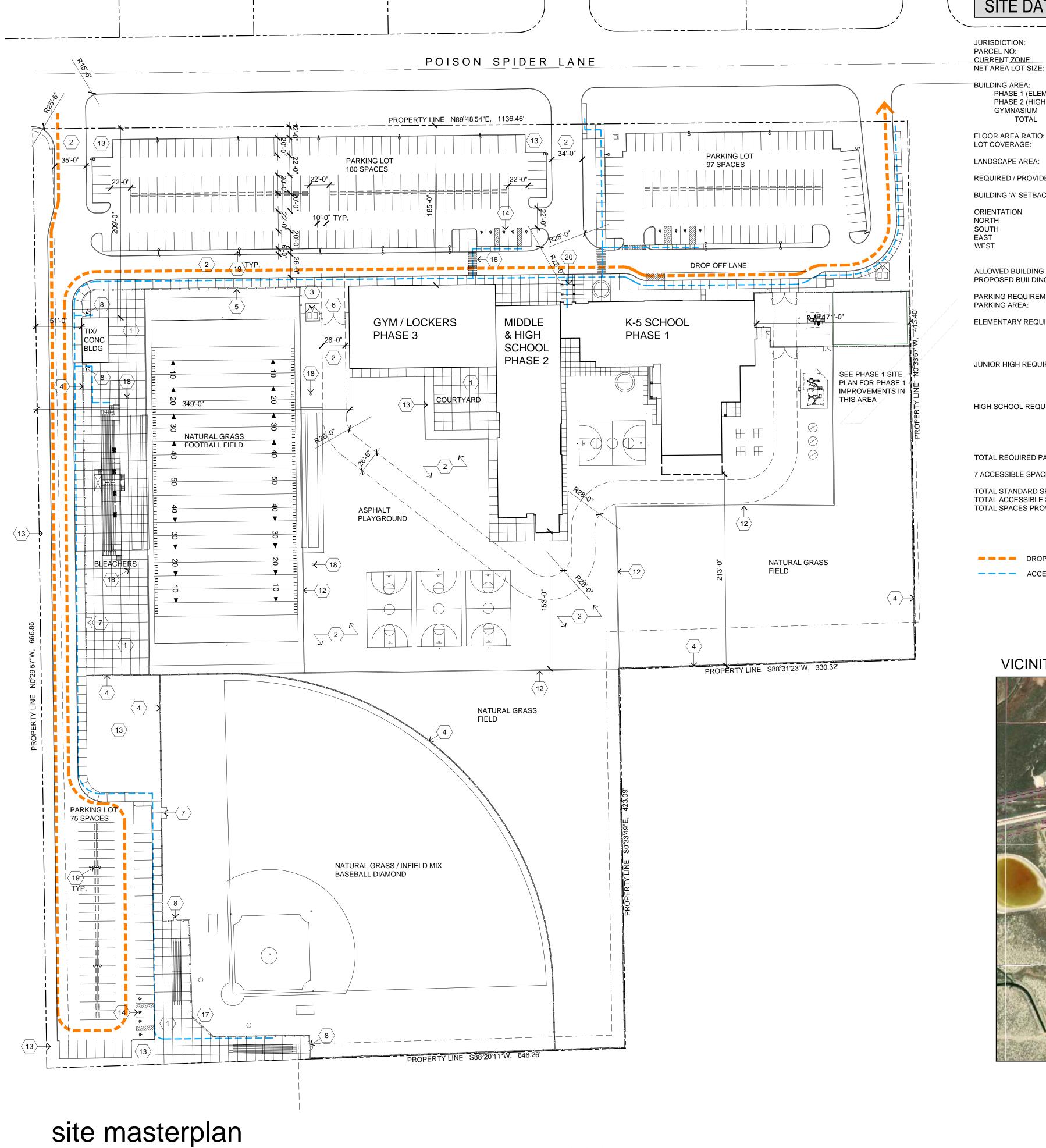
Planning Considerations:

1. Final approval by staff will be for the Master Site Plan and the Phase I site plan.

- 2. Submit a signed Site Plan Agreement
 - a. The agreement will include a provision that the Traffic Study, along with current traffic control measures and conditions, be reviewed and updated, if necessary, at the time of Phase II construction. All recommendations of the updated traffic analysis shall be met at that time.
 - b. The City will supply a final agreement to be signed by the applicant and City Council.
- 3. Final Drainage Plan approval by the City Engineer

Staff Recommendation: Staff recommends approval of the site plan, pending completion of all planning considerations.

Planning Commission Recommendation:



SCALE: 1"=60'-0"

SITE DATA:

CITY OF MILLS PARCEL NO: 33801010600100 UA URBAN AGRICULTURE CURRENT ZONE: 20 ACRES = 871,200 SF

BUILDING AREA:

PHASE 1 (ELEMENTARY/MIDDLE) 37,920 SF PHASE 2 (HIGH SCHOOL) 29,800 SF 14,500 SF 82,220 SF GYMNASIUM TOTAL

FLOOR AREA RATIO: 82,220 / 871,200 = 9% LOT COVERAGE: 54,200 / 871,200 = 6% LANDSCAPE AREA: 54,900 SF 6.3% OF SITE

REQUIRED / PROVIDED SETBACKS:

BUILDING 'A' SETBACKS

ORIENTATION SETBACK NORTH 30'-0" SOUTH 30'-0" EAST 7.5'-0" WEST 7.5'-0"

ALLOWED BUILDING HEIGHT: 40'-0" PROPOSED BUILDING HEIGHT: 35'-0" (2 STORY)

PARKING REQUIREMENTS:

PARKING AREA: 2.83 ACRES (14.1% OF SITE) ELEMENTARY REQUIRED: 1 SPACE PER 1,000 SF + 1 PER EMPLOYEE

ELEMENTARY SCHOOL BUILDING 36,658 SF 37 SPACES + 28 EMPLOYEES = 65 SPACES

148 SPACES + 25 EMPLOYEES = 173 SPACES

JUNIOR HIGH REQUIRED: 1 SPACE PER 1,000 SF + 1 PER EMPLOYEE JUNIOR HIGH BUILDING 15 SPACES + 9 EMPLOYEES = 24 SPACES

HIGH SCHOOL REQUIRED: 1 SPACE PER 200 SF + 1 PER EMPLOYEE HIGH SCHOOL BUILDING GYMNASIUM 14,500 SF

TOTAL REQUIRED PARKING SPACES = 65 + 24 +173 = 262 SPACES

7 ACCESSIBLE SPACES REQUIRED INCLUDING 1 VAN ACCESSIBLE SPACE

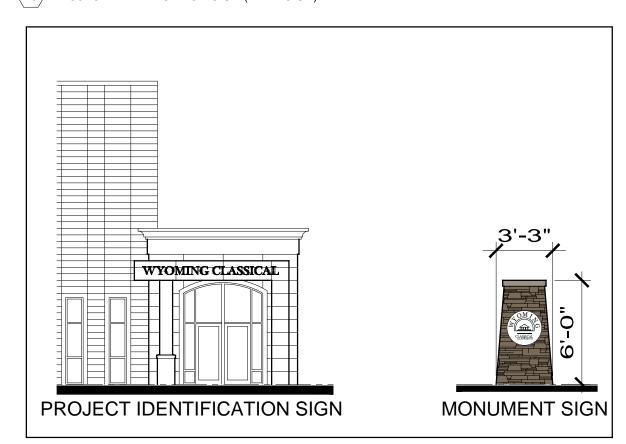
TOTAL STANDARD SPACES PROVIDED = 339 TOTAL ACCESSIBLE SPACES PROVIDED = TOTAL SPACES PROVIDED =

DROP OFF / PICK UP VEHICULAR CIRCULATION

— — — ACCESSIBLE ROUTE

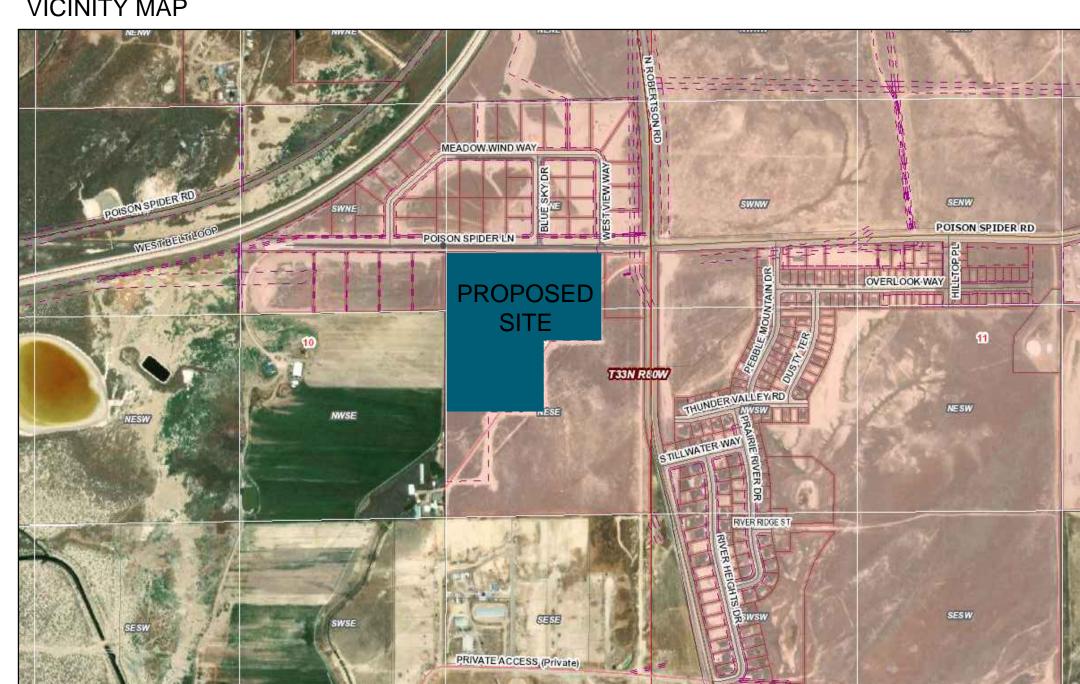
KEY NOTES:

- (1) CONCRETE PAVING
- \langle 2 \rangle ASPHALT PAVING
- $\langle 3 \rangle$ 2 BIN TRASH ENCLOSURE WITH ROOF
- \langle 4 \rangle 6' HIGH CHAIN LINK FENCE
- 5 6 HIGH DECORATIVE METAL FENCE
- \langle 6 \rangle 26' WIDE DOUBLE LEAF GATE WITH FIRE DEPT. KNOX BOX
- \langle 7 \rangle 12' WIDE DOUBLE LEAF GATE
- \langle 8 \rangle 4' WIDE GATE
- \langle 9 \rangle NOT USED
- \langle 10 \rangle NOT USED
- $\langle 11 \rangle$ NOT USED
- (12) 8" WIDE MOW CURB
- (13) LANDSCAPED PLANTER
- (14) ACCESSIBLE PARKING SPACES
- (15) ACCESSIBLE ROUTE
- ⟨16⟩ CROSS WALK
- (17) CHAIN LINK BASEBALL BACKSTOP
- (18) SPORTS FIELD LIGHT POLE
- (19) PARKING LOT LIGHT POLE
- (20) PROJECT IDENTIFICATION SIGN (WALL SIGN)



SIGN DETAILS

VICINITY MAP



SCALE: 1"=600'-0"

10-26-23 30 60 120

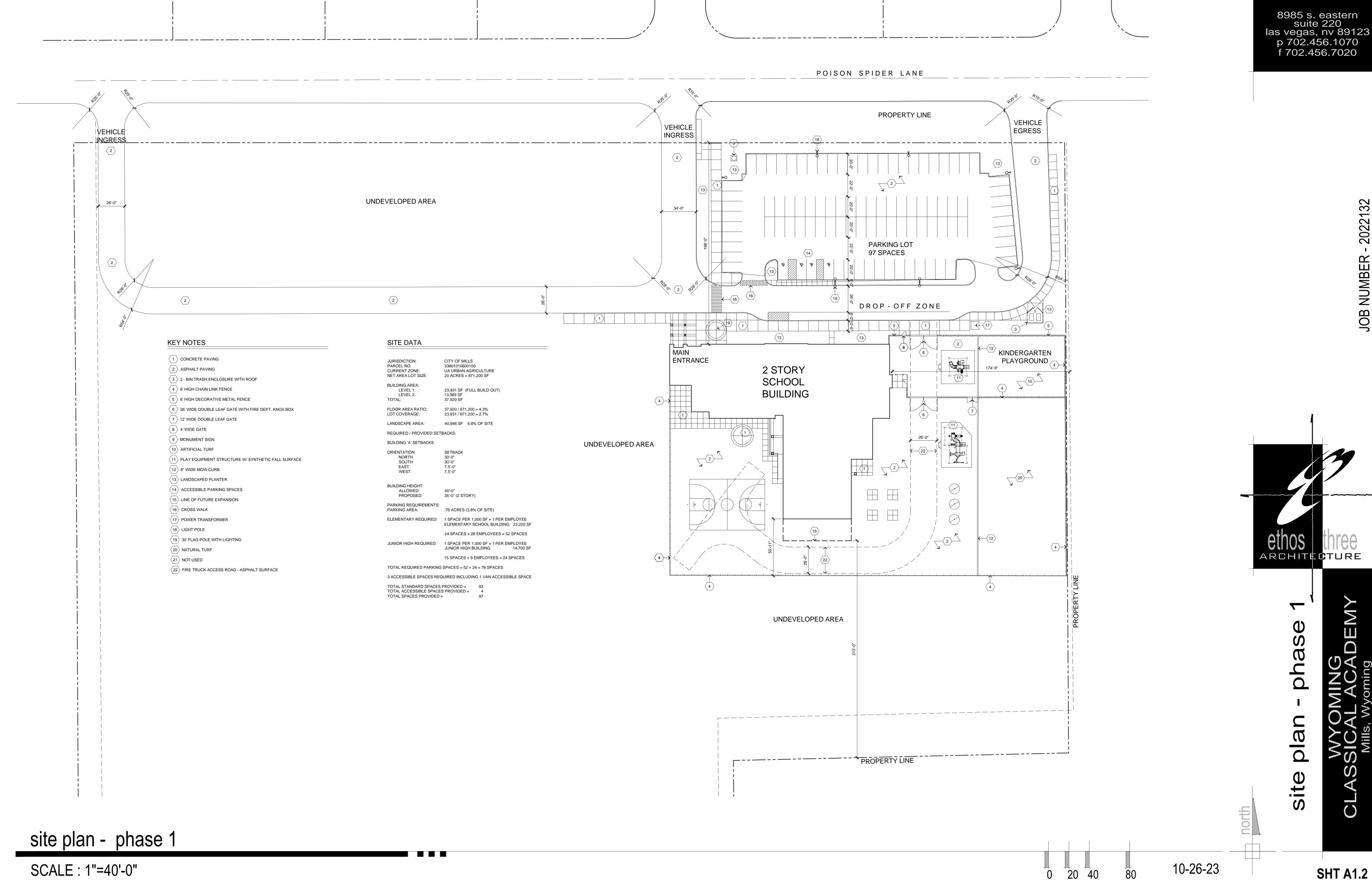
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ethos three

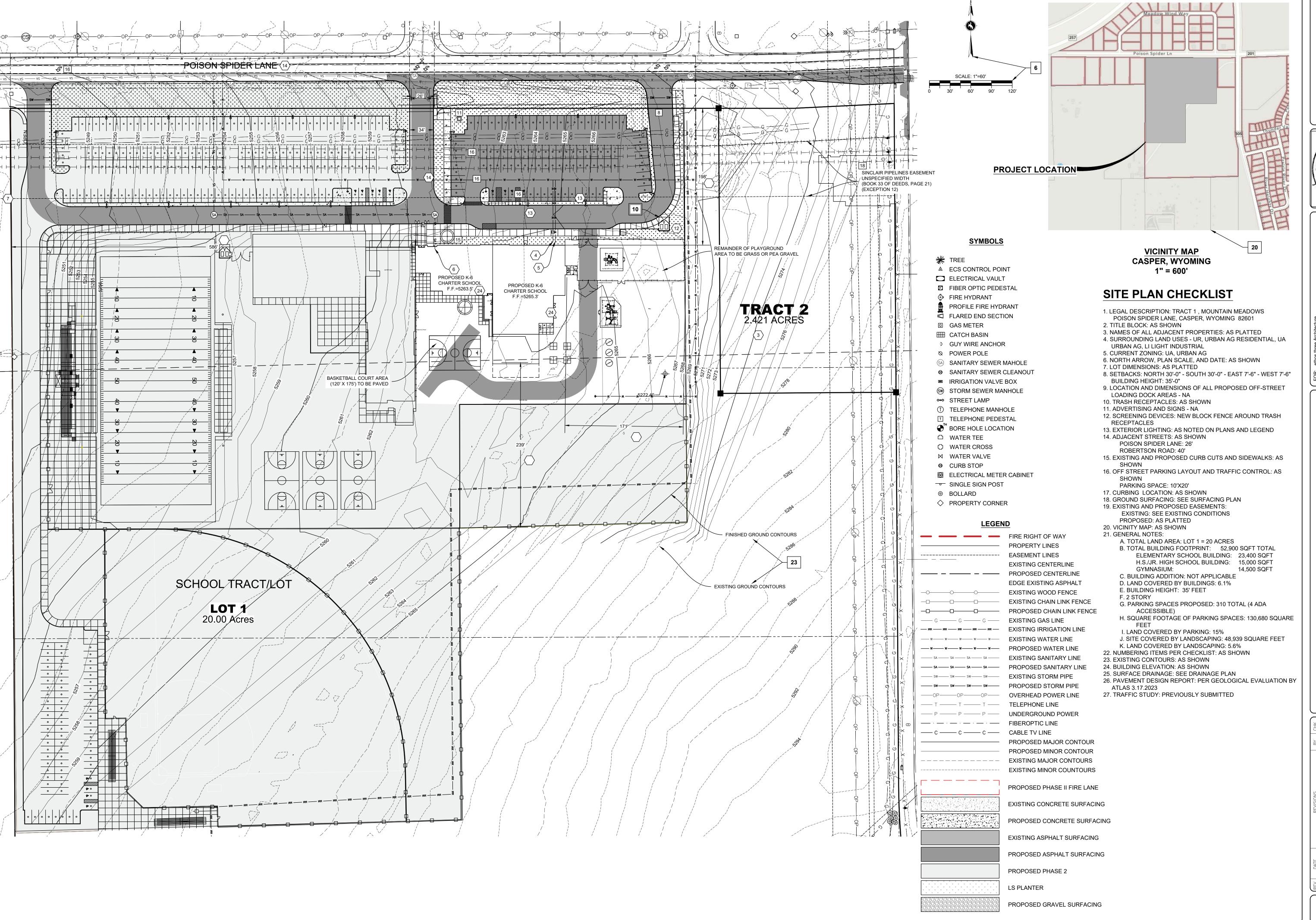
8985 s. eastern suite 220 las vegas, nv 89123

p 702.456.1070

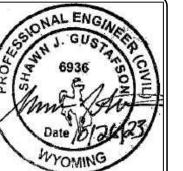
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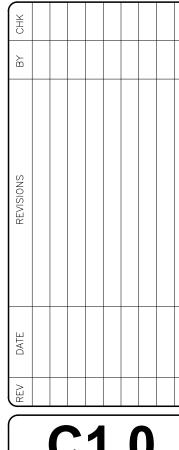


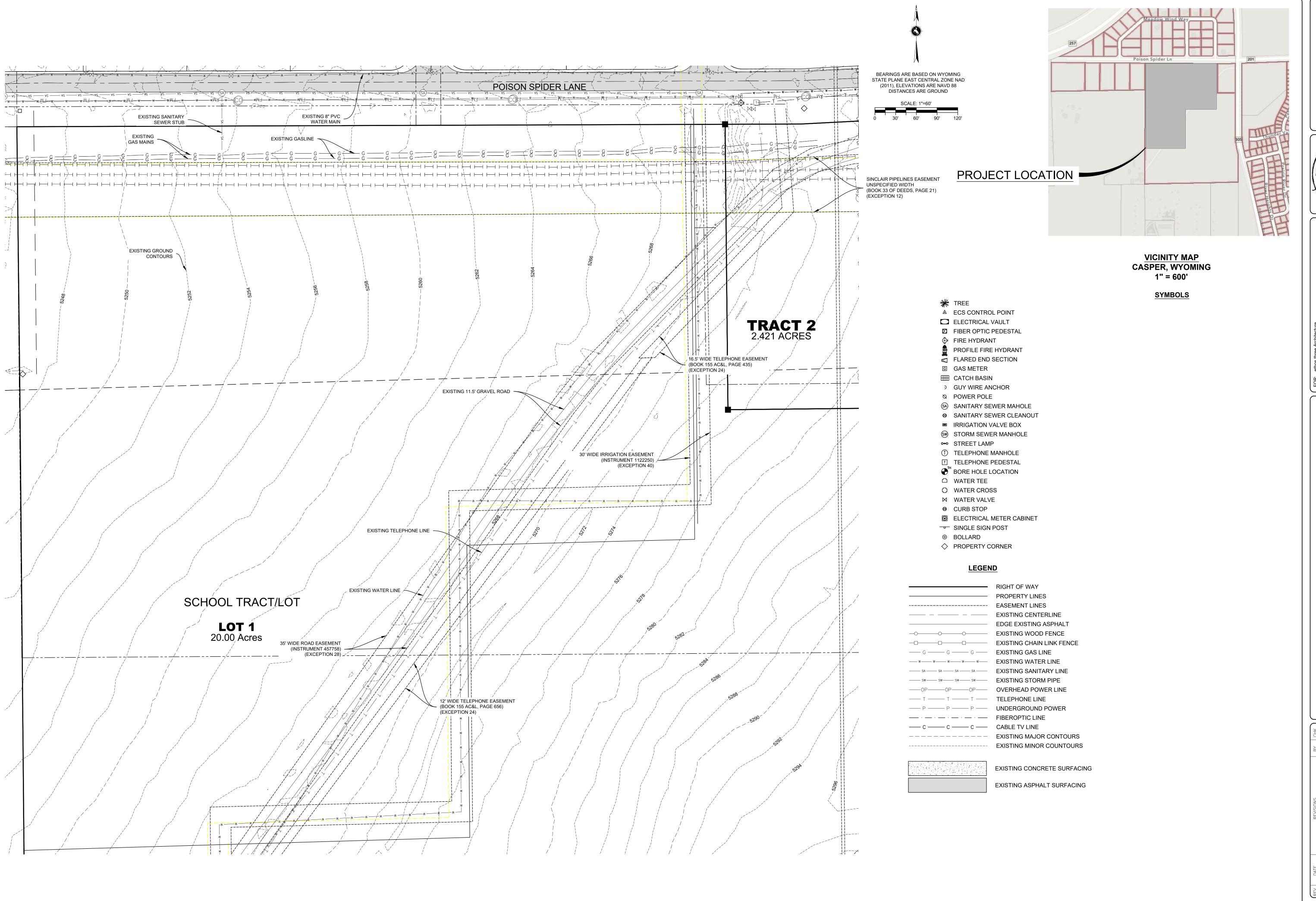
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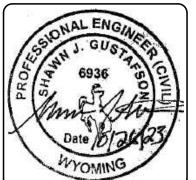




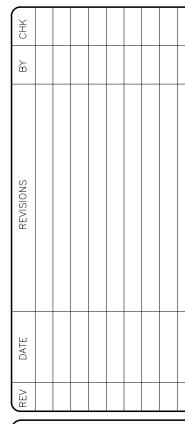


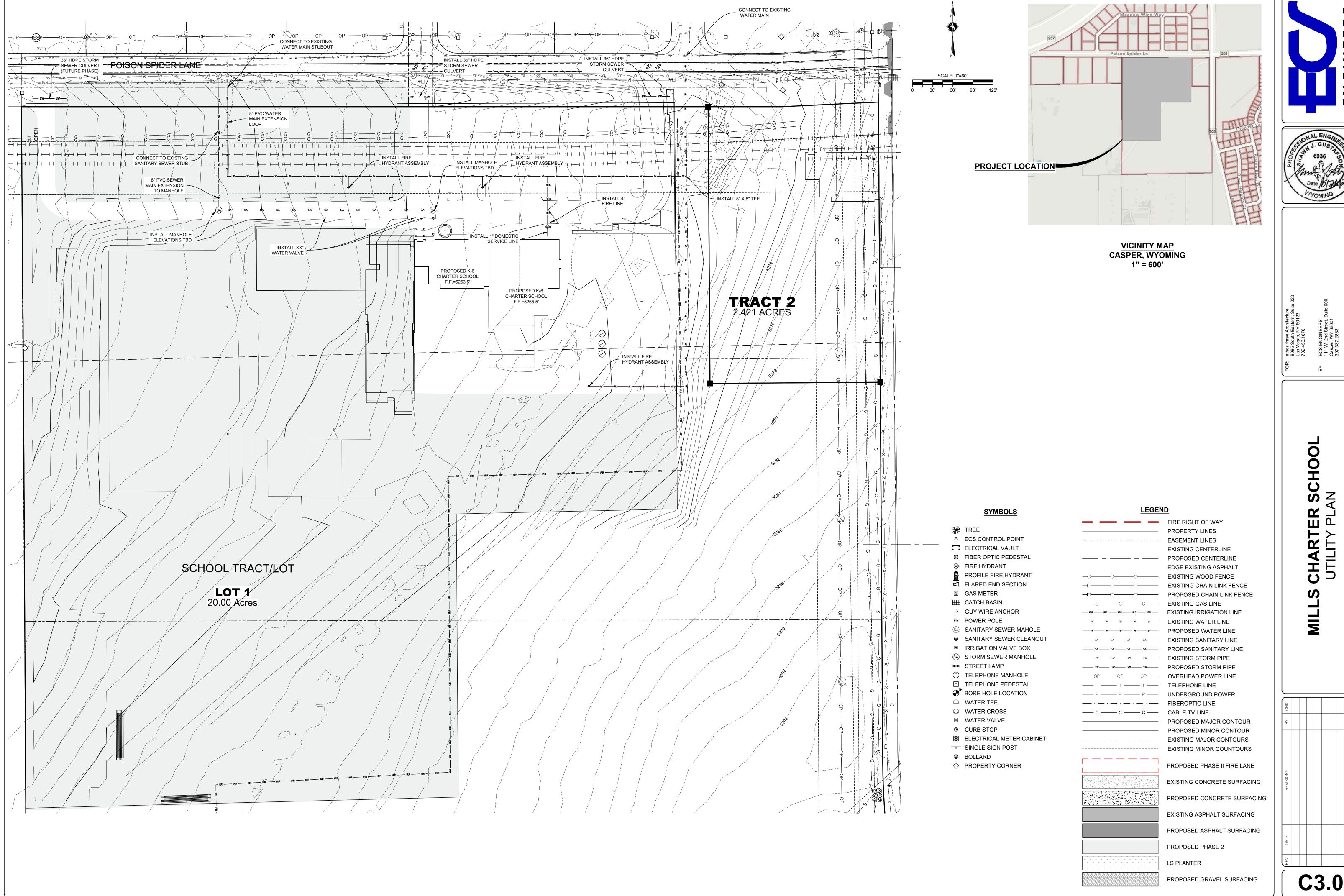


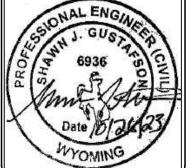


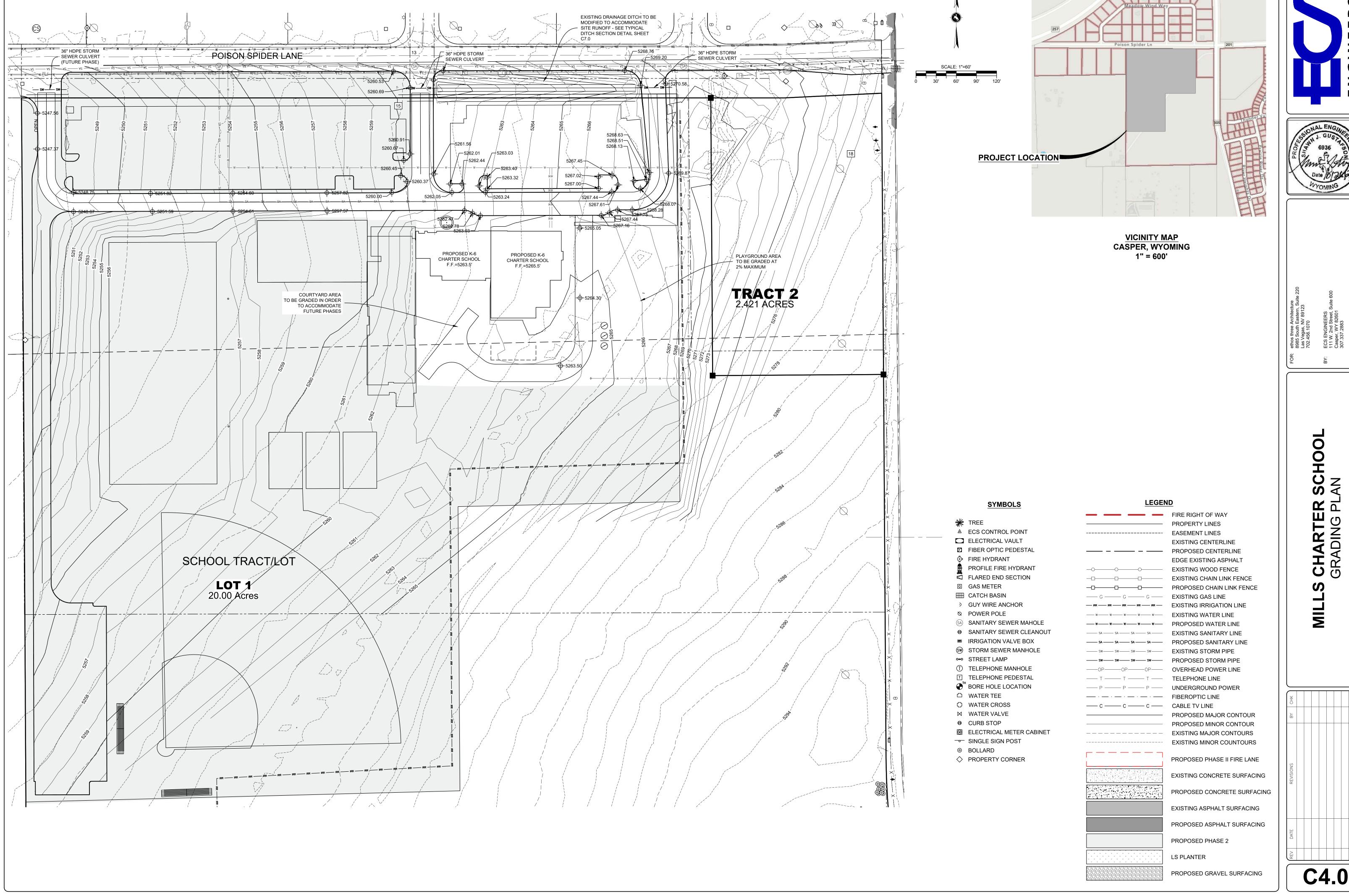


LS CHARTER SCHO EXISTING CONDITIONS

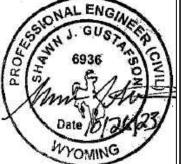


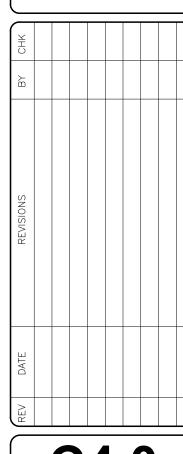


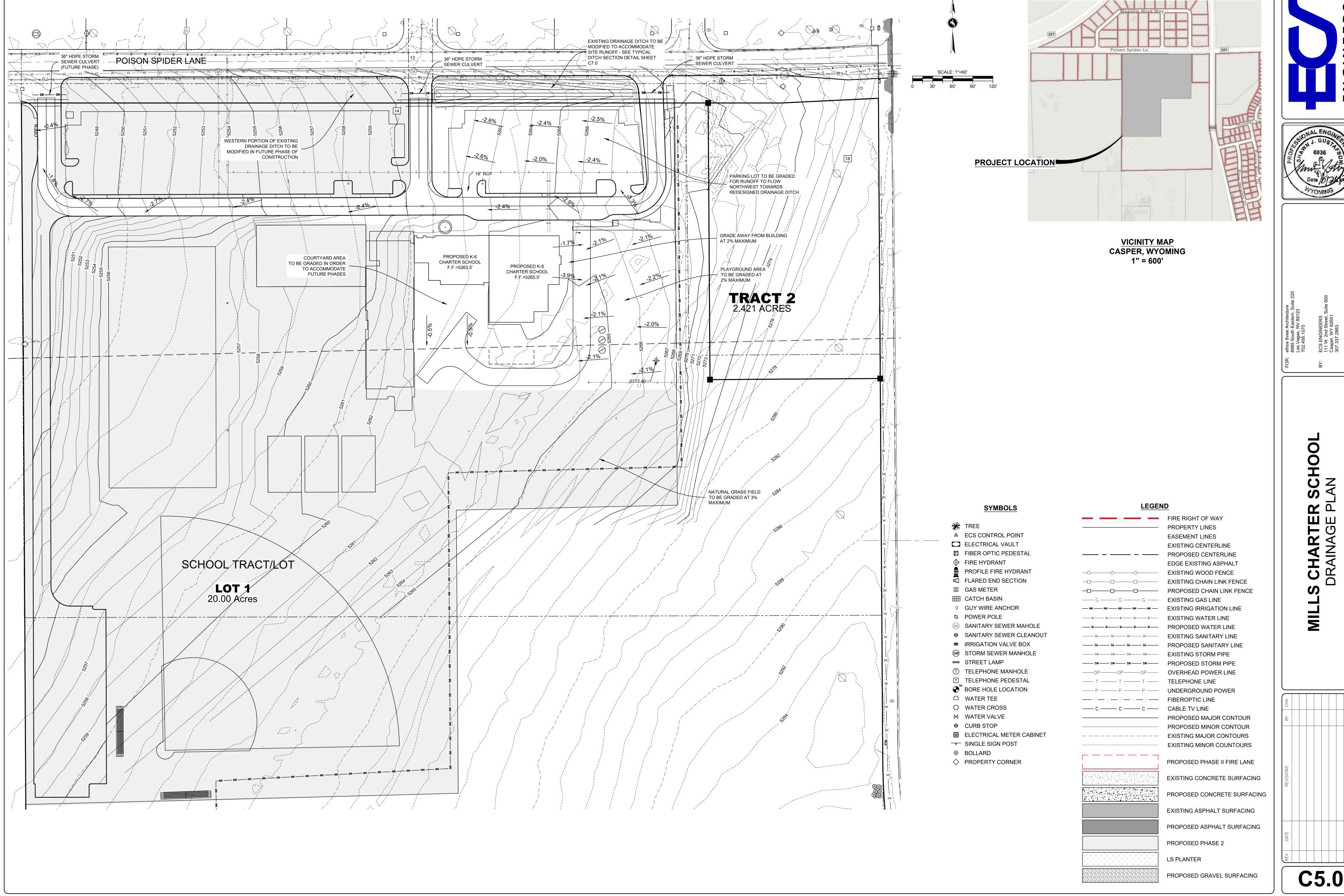


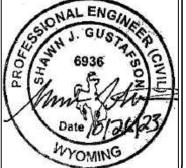


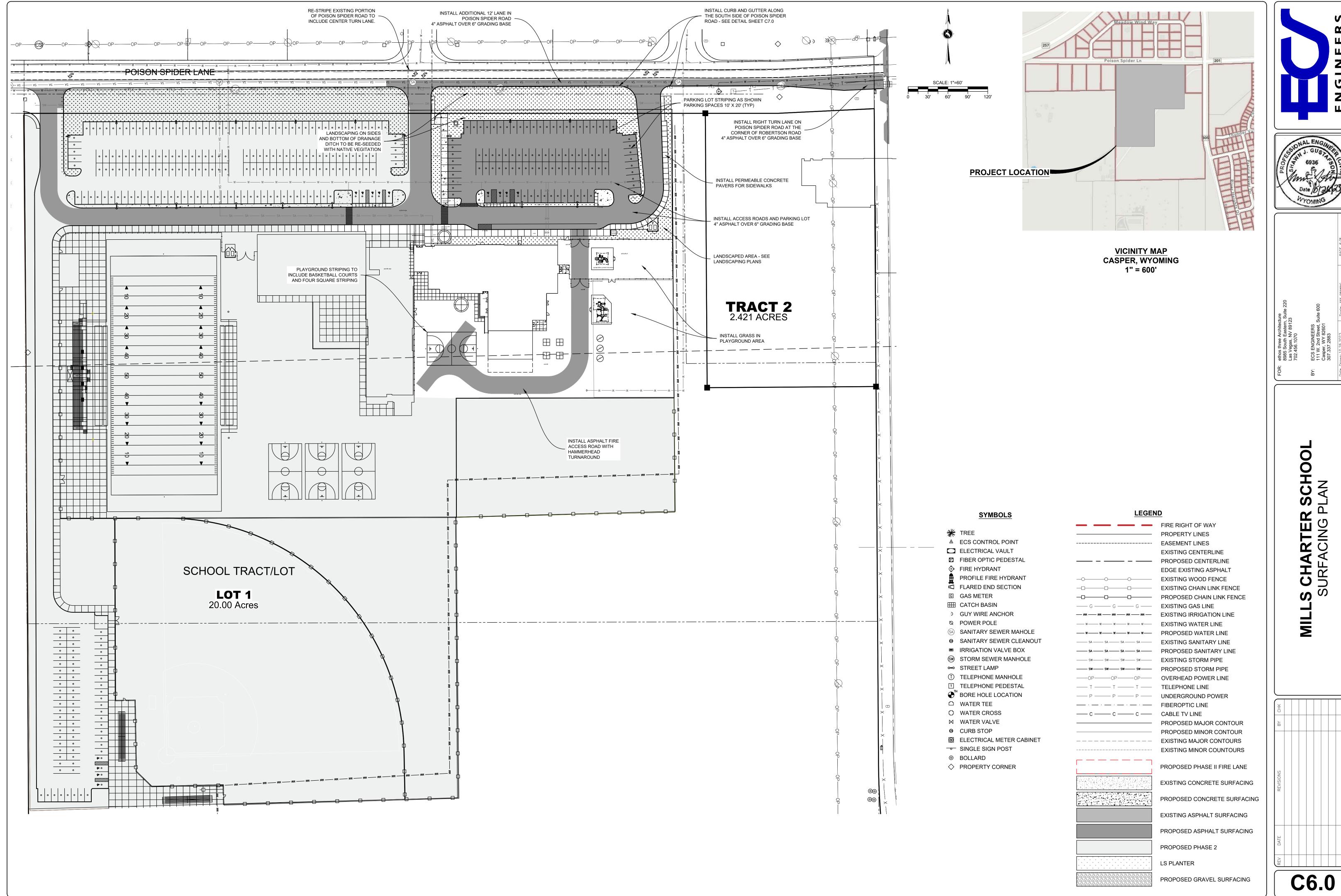


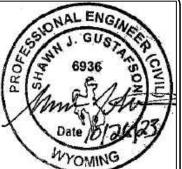


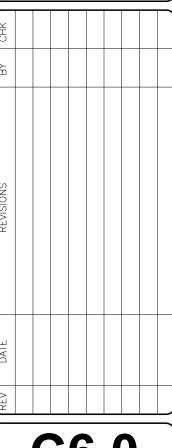












3. SLOPE MANHOLE RING AS REQUIRED TO

MATCH LONGITUDINAL AND TRANSVERSE

4. FINAL MANHOLE ADJUSTMENT WILL BE

ADJUSTMENT OF NEW MANHOLES TO FINAL

6. FRAME AND COVER TO BE D&L SUPPLY

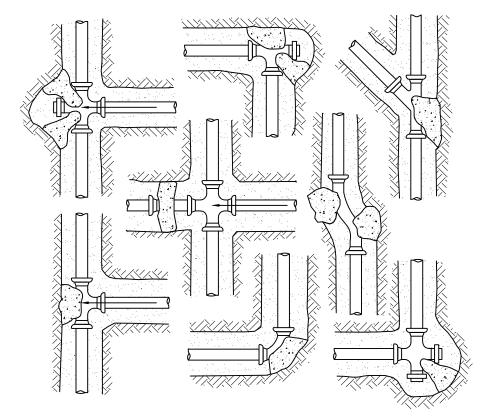
1-1040, DETTER FOUNDRY 1257, NEENAH 1726-A

MADE AFTER PAVING AND BEFORE SEAL

5. NO PAYMENT SHALL BE MADE FOR

GRADE ON STREET.

OR APPROVED EQUAL.



	CONCRETE AREA REQUIRED FOR THRUST BLOCKS (IN CUBIC FEET)					
FITTING SIZE	TEE & PLUG	90° BEND & FIRE HYDRANT	45° BEND	22 1/2° BENDS & REDUCERS	11 1/4° BEND	
4" (100mm)	1.50	2.00	1.00	1.00	0.50	
6" (150mm)	3.00	4.00	2.50	1.50	1.00	
8" (200mm)	5.00	7.00	4.00	2.00	1.00	
10" (250mm)	7.50	10.50	6.00	3.00	1.50	
12" (300mm)	10.50	14.50	8.00	4.00	2.00	
14" (350mm)	14.00	19.50	11.00	5.50	3.00	
16" (400mm)	18.00	25.50	14.00	7.00	3.50	

STANDARD THRUST

BLOCK DETAIL

NOT TO SCALE

THIS TABLE IS BASED ON 150 PSI TEST PRESSURE AND 2000PSF SOIL BEARING PRESSURE. CONTRACTOR SHALL ADJUST SIZE IF NECESSARY TO CONFORM TO EXISTING CONDITIONS.

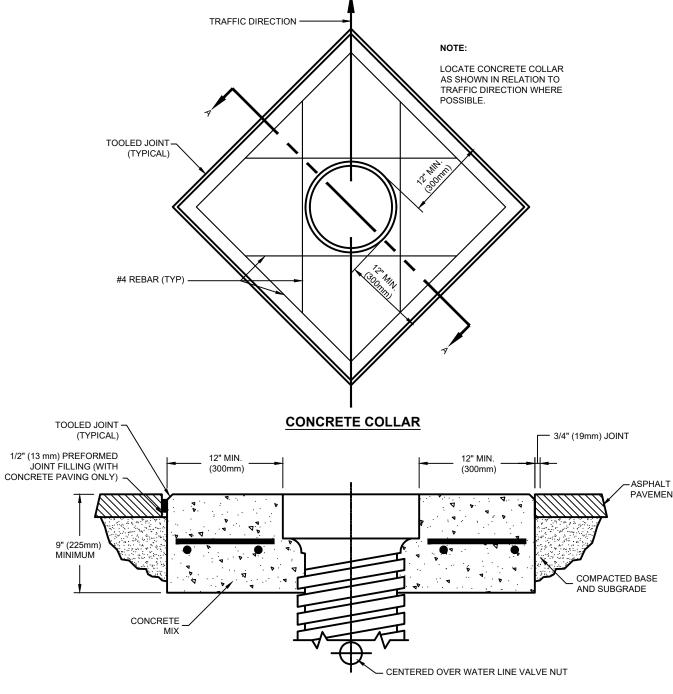
NOTES:

WRAP ALL METALLIC FITTINGS WITH POLYETHYLENE.
 KEEP CONCRETE AWAY FROM MY BOLTS.

3. THRUST BLOCKS SHALL BE PLACED AGAINST UNDISTURBED SOIL.

4. THRUST BLOCKS FOR FITTINGS OVER 16" (400mm) SHALL BE SPECIALLY DESIGNED.

5. THRUST BLOCKS FOR REDUCERS FOR PIPES WITH MORE THAN 2" (50mm) DIA DIFFERENCE SHALL BE SPECIALLY DESIGNED.

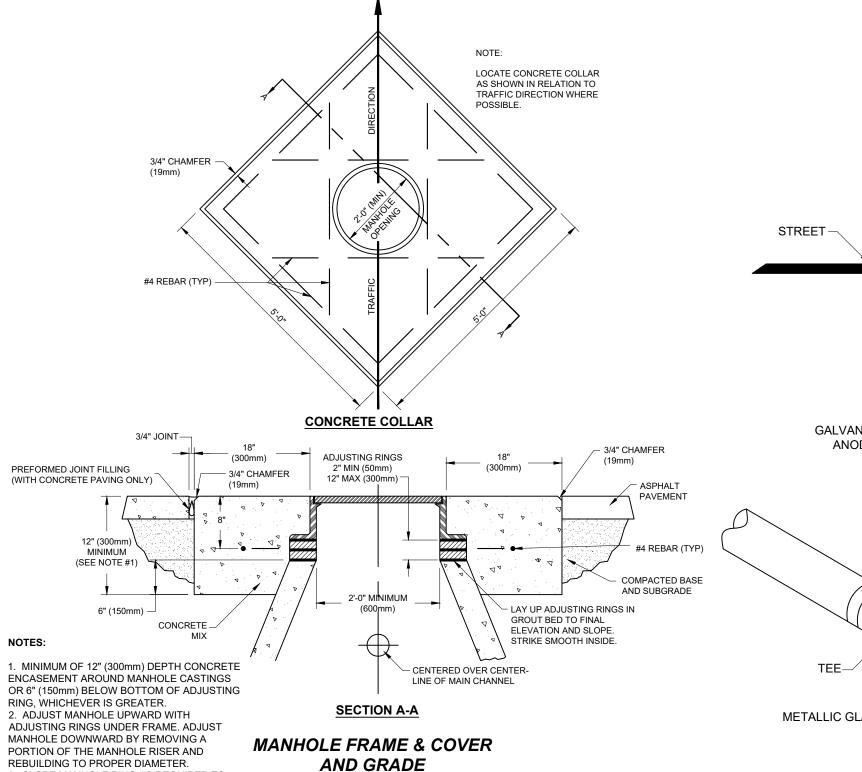


CONCRETE VALVE BOX COLLAR NOT TO SCALE

SECTION A-A

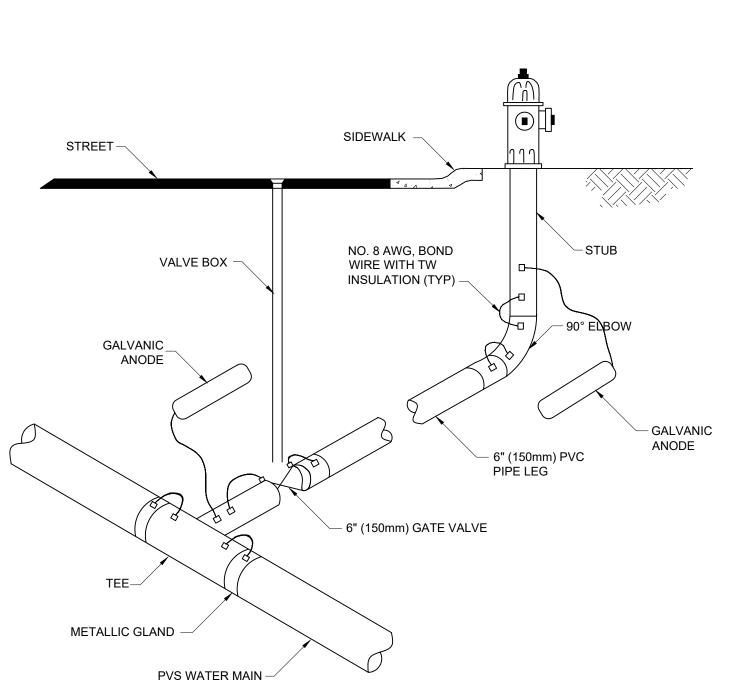
NOTES:

1. SEE DIVISION 500, SECTION 501.07 OF THE CITY OF CASPER STANDARD SPECIFICATIONS
2. SLOPE VALVE BOX COLLAR AS REQUIRED TO MATCH LONGITUDINAL AND TRANSVERSE GRADE ON STREET.
3. FINAL VALVE BOX ADJUSTMENT WILL BE MADE AFTER PAVING.
4. NO PAYMENT SHALL BE MADE FOR ADJUSTMENT OF NEW VALVE BOXES TO FINAL



ADJUSTMENT DETAIL

NOT TO SCALE



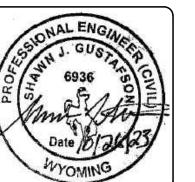
TYPICAL GALVANIC ANODE

INSTALLATION AT IRON FITTINGS ON

PVC WATER MAINS DETAIL

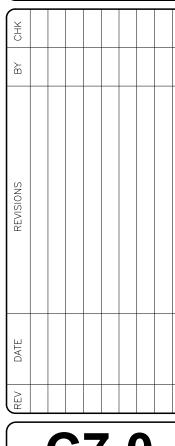
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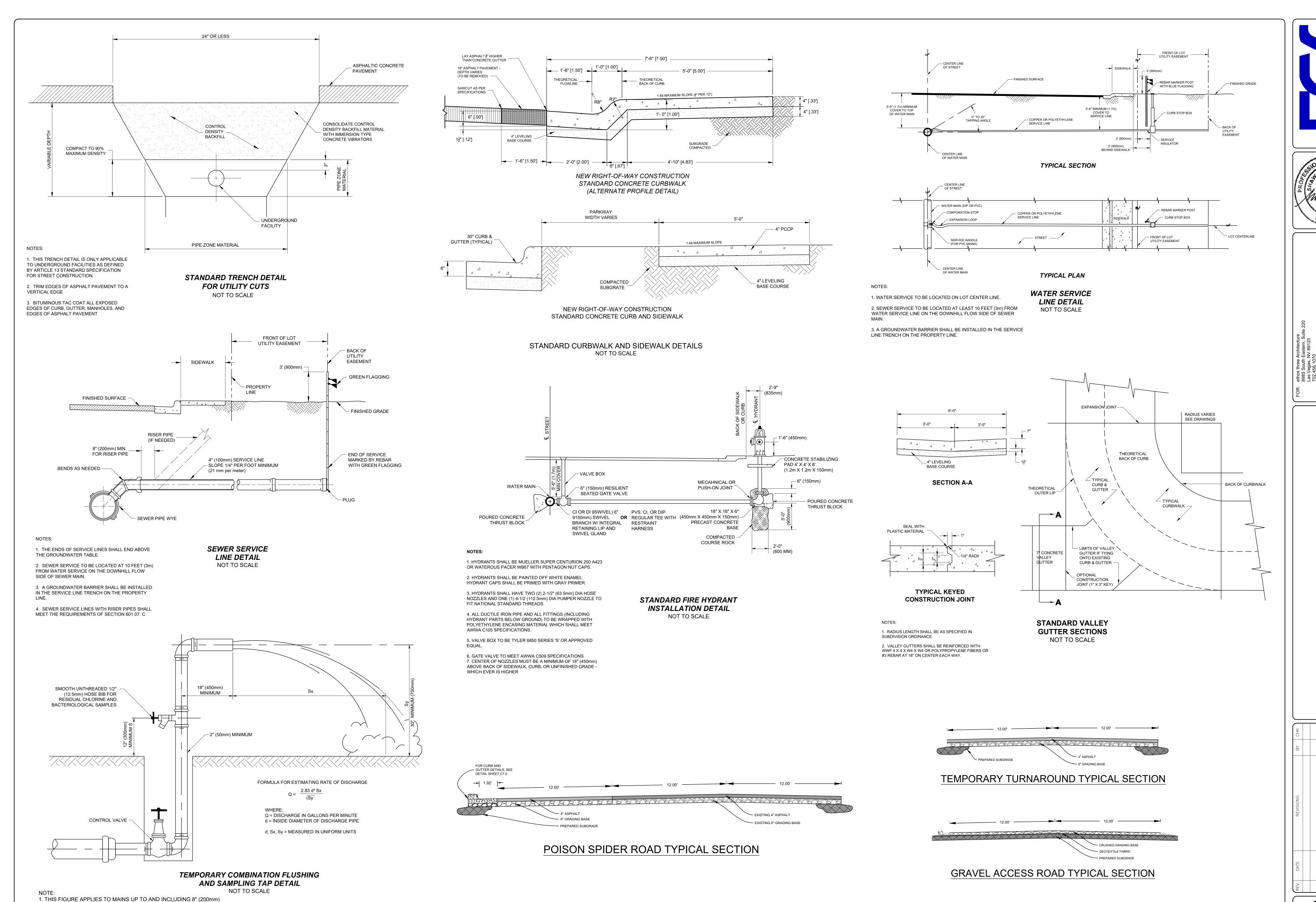




MILLS CHARTER SCHOOL
DETAILS



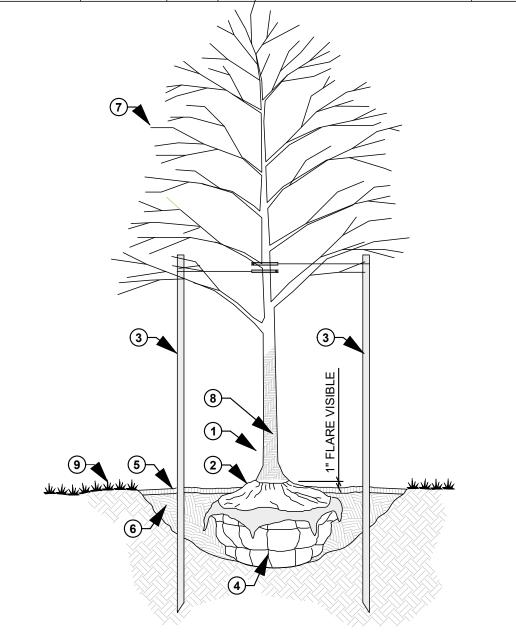
C7.0



DIAMETER.

C7.1

PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT			
	ABI CON	4	ABIES CONCOLOR WHITE FIR	6`-8` HT.	B&B			
\bigcirc	ACE OGL	1	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	B & B	2"CAL			
	ACE HOT	1	ACER TATARICUM `HOT WINGS` HOT WINGS TATARIAN MAPLE	B & B	2"CAL			
\(\frac{1}{2}\)	GYM DIO	4	GYMNOCLADUS DIOICA 'ESPRESSO' KENTUCKY COFFEETREE	2" CAL.	B&B			
0	PIC COL	3	PICEA PUNGENS COLORADO SPRUCE	6`-8` HT.	B&B			
	QUE MAC	8	QUERCUS MACROCARPA BURR OAK	B & B	2"CAL			
\bigcirc	QUE RUB	3	QUERCUS RUBRA NORTHERN RED OAK	B & B	2"CAL			
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT			
	EUO ALA	3	EUONYMUS ALATUS BURNING BUSH	5 GAL				
Source of the second	FOR OTT	3	FORSYTHIA OVATA 'OTTAWA' EARLY FORSYTHIA	5 GAL				
	PRU CIS	4	PRUNUS X CISTENA PURPLE LEAF SAND CHERRY	5 GAL	POT			



- GRAFT UNION TYP. 4-6" ABOVE ROOT FLARE.
- (2) ROOT FLARE VISIBLE ABOVE FINISH GRADE. REMOVE EXCESS SOIL FROM BALL AS NEEDED.
- TWO (2) 6' STEEL TEE POSTS PER TREE, 14 GA. SOFT WIRE AND 1-1/2"x18" NYLON STRAP (3) WITH BRASS GROMET TIES ON TRUNK. STAKES SHALL NOT PENETRATE ROOT BALL. DO NOT OVER-TIGHTEN AROUND TREE. TIES SHOULD BE SNUG ENOUGH TO PROVIDE SUPPORT WHILE ALLOWING TREE TO SWAY. CONTRACTOR TO REMOVE STAKES & TIES AT END OF
- REMOVE WIRE BASKET & ALL BURLAP. INSPECT ROOT BALL AND PRUNE OFF AND GIRDLING $oxed{4}$ ROOTS, PRESS ALL HAIR ROOTS DOWN UNDER STRUCTURAL ROOT FLARE TO LEAVE TRUNK & ROOT FLARE RADIALLY.
- 3" MULCH IN TREE'S DRIP RING AREA. NO WEED BARRIER. END MULCH 3" FROM TRUNK.
- DIG HOLE MIN. 2x WIDTH OF BALL. ROUGHEN SIDES TO BREAK GLAZING. ROOT BALL TO (6) REST ON UNDISTURBED SOIL. BACKFILL HOLE WITH EXISTING SOIL (IN SANDY TO SANDY LOAM SOILS, ADD 20% MAX. BY VOLUME ORGANIC MATERIAL) IN LAYERS, SETTLE WITH WATER. WATER IN THOROUGHLY AFTER INSTALLATION TO ELIMINATE AIR POCKETS.
- PRUNE AS NEEDED TO RETAIN NATURAL FORM.
- ASPHALT COATED PAPER TREE WRAP TO BOTTOM OF FIRST BRANCH, SECURE WITH (8) ELECTRICAL TAPE. DO NOT WRAP TIGHTLY. CONTRACTOR TO REMOVE PAPER AT END OF WARRANTY PERIOD.
- FINISH GRADE SLOPE AWAY FROM TREES WHEREVER POSSIBLE

1. STAKING IS NOT MANDATORY, HOWEVER, THE CONTRACTOR SHALL REPLACE ANY UNSTAKED TREE WITHOUT QUESTION IF DIRECTED TO DO SO AT ANY TIME THROUGH COMPLETION OF THE WARRANTY PERIOD.

TYPICAL TREE PLANTING

NOT TO SCALE 329343.39-01

QTY DESCRIPTION 220 LF 4,818 SF 2-3" RIVER ROCK MULCH AT 3" THICK OVER LANDSCAPE FABRIC TYPE 2 NATIVE GRASS SEED CASPER, WY 14,970 SF RTF FESCUE SOD 21,078 SF

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2022

LANDSCAPING NOTES

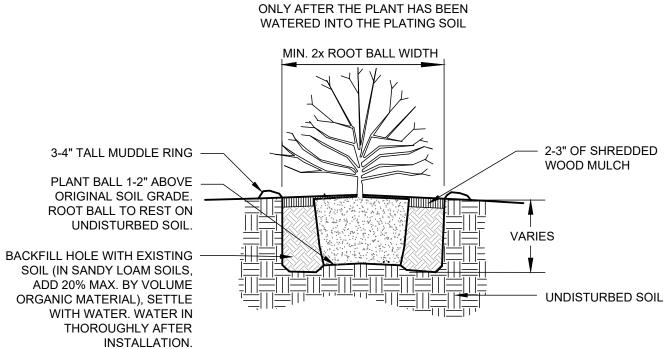
REFERENCE NOTES SCHEDULE

- 1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION, OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS
- 2. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS. 3. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES S HALL BE PREPARED AND SEEDED OR SODDED AS
- SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUNDCOVER OR GRADE. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
- 4. THE INSTALLATION OF LAWNS, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
- 5. CONTRACTOR SHALL FURNISH REQUIRED PLANT MATERIALS, INCLUDING TREES, SHRUBS, GRASSES, AND PERENNIALS OF ALL DESCRIPTIONS, FOR THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATION. 6. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- 7. NO TREES SHALL BE PLANTED CLOSER THAN 10' TO A FIRE HYDRANT. ADJUST LAYOUT IF NECESSARY. 8. NO TREE OR SHRUB SHALL BE PLANTED OVER OR WITHIN 5' LATERALLY FROM ANY UNDERGROUND UTILITIES.
- 9. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT. 10. CONTRACTOR SHALL PROVIDE PLANTS FREE FROM INSECTS AND DISEASES, SUN-SCALD INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES. WEAK AND/OR DISFIGURED PLANTS WILL NOT BE ACCEPTED. 11. CONTRACTOR SHALL PROVIDE FIELD GROWN NURSERY TREES, DUG WITH A BALL OF EARTH STILL INTACT IN WHICH THEY ARE GROWING, WRAPPED IN BURLAP OR OTHER SUITABLE MATERIAL TO COMPLETELY COVER THE
- 12. CONTAINER GROWN PLANTS SHALL BE HEALTHY, VIGOROUS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. THE PLANTS SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN

ROOT BALL WITH A LACING OR OTHER BALL SUPPORTING DEVICE ON THE OUTSIDE TO HOLD THE BALL IN A FIRM,

- 13. ALL 1.5-2" CALIPER DECIDUOUS TREE SHALL HAVE A SINGLE LEADER, 12 -14" HEIGHT, BRANCHING AT 6 7FT
- HEIGHT WITH A UNIFORM CANOPY BRANCHING, BRANCH ANGLES SHALL BE NO LESS THAN 30°. 14. ALL 6-8' TALL EVERGREEN TREES SHALL HAVE A HEIGHT TO SPREAD RATIO OF 5:3, WITH A SINGLE LEADER. 15. CONTRACTOR SHALL PROVIDE PLANT MATERIAL IN CONFORMANCE WITH STATE AND FEDERAL LAWS WITH
- RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTIONS. 16. CONTRACTOR SHALL PROVIDE INSPECTION CERTIFICATES REQUIRED BY LAW WITH EACH SHIPMENT, INVOICE, OR ORDER OF STOCK TO THE OWNER.
- 17. PLANT MATERIALS FOR THIS PROJECT ARE SUBJECT TO INSPECTION BEFORE, DURING, AND POST PLANTING. DAMAGED PLANT MATERIAL, CONTAINERS, OR LOOSE, TORN, AND BROKEN ROOT BALLS WILL NOT BE APPROVED BY THE OWNER AND WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND MUST BE REMOVED FROM THE
- STORAGE AREA OR PROJECT. 18. MAINTENANCE SERVICES TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR WILL BE EXPECTED TO FURNISH SERVICE AND MAINTENANCE OF ALL PLANTED AREAS THROUGH FINAL COMPLETION OR PROJECT OR AS
- REQUIRED PER THE REQUIREMENTS OF THE PROJECT WARRANTY PERIOD. 19. ALL PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE DEPARTMENT OF AGRICULTURE TO ASSURE THEM TO BE FREE OF DISEASE OR HAZARDOUS INSECTS.
- 20. ALL FERTILIZER SHALL BE DELIVERED IN WATERPROOF BAGS SHOWING WEIGHT, CHEMICAL ANALYSIS, AND THE NAME OF THE MANUFACTURER.
- 21. ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT
- 22. CONTRACTOR WILL BE RESPONSIBLE TO PROTECT AND MAINTAIN PLANT LIFE DURING THE STORAGE PERIOD PRIOR TO PLANTING.
- 23. INSTALLATION OF PLANT LIFE WILL NOT BE PERMITTED WHEN THE AMBIENT TEMPERATURES MAY DROP BELOW 35°F OR RISE ABOVE 90°F.
- 24. CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY. WARRANTY TO INCLUDE COVERAGE FOR ONE ENTIRE GROWING SEASON FOR ALL DEAD OR UNHEALTHY PLANTINGS. ALL REPLACEMENT PLANTS SHALL BE REQUIRED TO BE OF THE SAME SIZE AND SPECIES AS SPECIFIED IN THE PLANT SCHEDULE, PLANTED IN THE FOLLOWING GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON THE DATE OF PLACEMENT.
- 25. SOIL MATERIALS: ALL SOIL BACKFILL WILL BE FREE OF ROCKS LARGER THAN 1.5", STICKS, ROOTS AND OTHER DEBRIS.
- TOPSOIL TO BE STERILE, WEED FREE, PROCESSED, AND PASSED THROUGH A 3/4" SCREEN.
- TOPSOIL TO BE INSTALLED IN ALL NEW SITE LANDSCAPE AREAS, NATIVE GRASS PLANTINGS, AND PLANTING RINGS OR IN ANY AREAS DESIGNATED IN THE PLANS FOR CONSTRUCTION.
- 26. SOIL AMENDMENT MATERIALS:
- COMPOST SHALL BE 'GLACIER GOLD', 'SOIL PREP', OR AN APPROVED EQUAL FERTILIZER SHALL BE 100% ORGANIC, TRANSPLANT ROOT STIMULATOR: 'BIOPLEX TRANSPLANT CONCENTRATE' OR APPROVED EQUAL.
- AND USED AS PART OF THE LANDSCAPING SCHEME. PLACE AS DIRECTED BY THE OWNER. 28. WEED BARRIER FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC, 4.75OZ. SQ./YD. OR HEAVIER WITH METAL
- LANDSCAPE PINS. DO NOT INSTALL WEED BARRIER UNDER PERENNIALS AND GRASSES. 29. CONTRACTOR SHALL USE 1.5" DIA. ROUND POSTS WITH TAPERED END, 8.0' IN LENGTH OR DUCKBILL ANCHORS FOR
- WEBBING OR RUBBER TREE TIES MANUFACTURED SPECIFICALLY FOR USE ON TREES.
- 31. CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL ANCHORING AT THE END OF ONE CONTINUOUS GROWING
- 32. CONTRACTOR SHALL COORDINATE IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.
- 33. AREAS THAT ARE TOO SMALL TO BE DRILL SEEDED SHALL BE BROADCAST, RAKED IN, AND ROLLED.

34. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



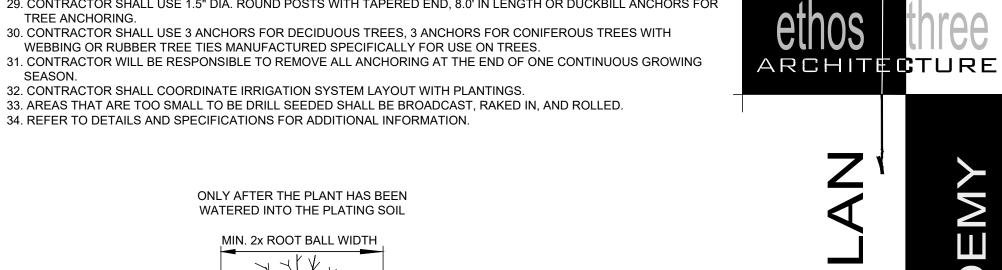
1. PRUNE PLANT AS NEEDED TO RETAIN NATURAL FORM.

329333.13-04

SHT L1.0

SCALE: 1"=40'-0"

Landscape plan - phase 1



TYPICAL SHRUB PLANTING

10-26-23

